
Options Discussion by School Elementary Schools

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Options Discussion by School

Elementary Schools

2.1 Introduction

The Elementary School Buildings and Sites included in this section:

- Deerfield Elementary
- Sheehan Elementary
- Hanlon Elementary
- Downey Elementary
- Martha Jones Elementary

Each of the school buildings were analyzed for the physical building component conditions (i.e. roofs, windows, doors, structure), MEP systems condition (i.e. plumbing, mechanical and electrical systems), potential code issues, existing building capacity, and educational program delivery. Each of these factors were considered in the development of each of the Master Plan Options.

Likewise, each of the school sites were reviewed for opportunities and constraints which will be discussed in more detail in Section 2.4 Consolidation Options.

Opportunities include land adjacent to the school that can be built upon; building infrastructure and core that can accept building additions.

Constraints include wetlands and wetland setbacks; topography that may preclude additions; floor plans that are difficult to expand or would require complex construction phasing; density and impact to the existing neighborhood; impact to existing fields; or other difficult conditions.

Included in this section are site plans that show existing conditions including wetlands and other site constraints. Also included are conceptual site and floor plans of the Options explored.

2.2 Status Quo Options Explored Elementary Schools

Option A-1

Option A-1 is illustrated on the Master Plan Options Matrix (Exhibit 1x and Appendix 6.5) under *Status Quo*. This option assumes that the grade configuration and district boundaries are to remain as they exist currently. This option identifies only component and system upgrades to address deferred maintenance in addition to any code required upgrades as part of the base scope of work. The goal is to provide a plan that will extend the life of these buildings/sites for at least the next 20 years. From an educational programming and capacity stance, the facilities will essentially continue to operate as they do currently. Reconfiguration of existing spaces and/or additions of space are not considered in this option unless required for code reasons.

Deerfield Elementary

At 35,078 square feet, Deerfield contains two sections of grades K-5. As noted in the Facilities Assessment and summarized in Section 1.6 of this Report, major systems and code upgrades will be required in the near future in order to maintain this facility for the next 20 years. Although the building is well maintained currently, much of the existing plumbing and HVAC piping and components are original to the building and nearing the end of their useful service life.

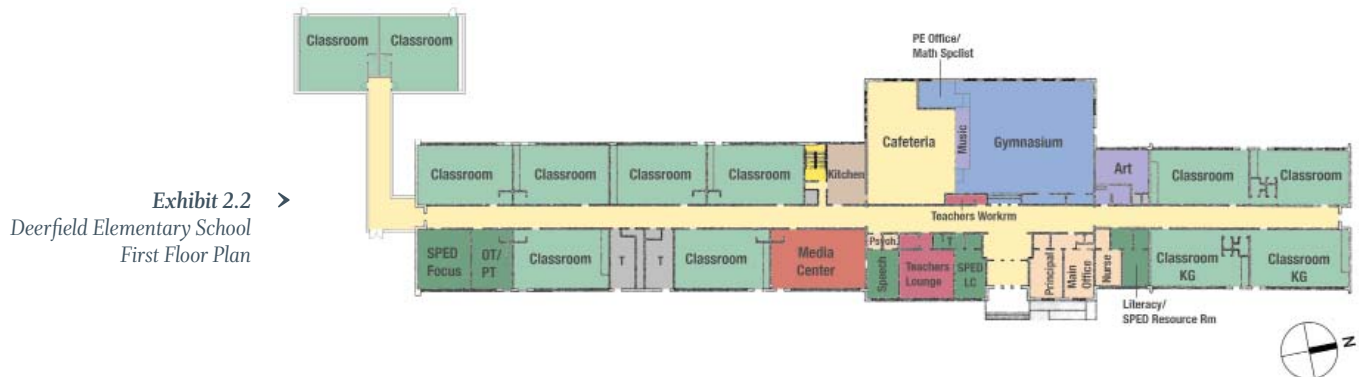
The scope of work for Option A-1 is limited to only those necessary upgrades which include the following:

- Full Accessibility Upgrade: Due to the level of these base renovations, the Massachusetts State Building Code will require compliance with accessibility codes as governed by the Massachusetts Architectural Access Board (521 CMR). MAAB states that if construction costs exceed 30% of the full and fair cash value of the building, then the entire building is required to comply (and be upgraded to comply) with 521 CMR, Access Board Regulations. Some of these upgrades include the following:
 - Install ramps at all exterior landings
 - Install new pipe handrails with extensions at all ramps/stairs
 - Reconfigure all Toilet Rooms (HC fixtures/stalls/grab bars)
 - Provide all new ADA compliant door hardware (lever handles)
 - Relocate walls to meet required door pull/push side clearances
 - Provide wing walls at all projections into accessible paths, i.e. drinking fountains
 - New ADA sinks and casework at existing sink locations
 - Install non-slip surface required on wood steps (modulars)
 - Provide new HC Signage throughout
 - Reconfigure stair nosings (no abrupt nosings)
 - Site Components:
 - › Accessible paths to all site elements (even fields- if on the same site)
 - › Accessible path (not wood chips) to all playground structures
 - › Minor reconfiguration of walkways to meet slope requirements
 - › Provide required HC Parking spaces (re-stripe parking lot)
- Required Building Code Upgrades:
 - Install new railings and guardrails
 - Install fire protection/ sprinkler system
 - Upgrade fire alarm system and devices
 - Install new compliant exit signage
 - Hazardous Materials Abatement

- MEP Upgrades:
 - Full HVAC Replacement (i.e. piping, boilers, exhaust system and unit ventilators), except at modulars
 - Replace all original electrical feeders, panels and receptacles
 - Upgrade existing paging system for full coverage
 - Install lighting control system (with master remote program) and occupancy sensors
 - Install new wireless master clock system
 - Upgrade existing communications wiring to support current industry standards
 - Replace all existing original non-compliant plumbing fixtures
 - Test existing underground sanitary piping for leakage, backup and pipe aging conditions
 - Insulate all existing plumbing piping to remain
 - Install hot water recirculation system to all plumbing fixtures
- Security Upgrades:
 - Install card access system at exterior doors
 - Upgrade security cameras and building alarm systems
 - Install lockdown-type door hardware to interior classroom and office doors
- Building Upgrades:
 - Replace all original windows (except at modulars)
 - Minor brick patching and repainting as required
- Site Upgrades:
 - Minor repaving of existing bituminous walkways
 - Install new fire hydrant at the west side of the site to provide adequate coverage



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Exhibit 2.1
 Deerfield Elementary School
 Site Plan



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Exhibit 2.2
 Deerfield Elementary School
 First Floor Plan

Sheehan Elementary

At 49,586 square feet, Sheehan contains 3 full sections of grades K-5. As noted in the Facilities Assessment and summarized in Section 1.6 of this Report, major systems and code upgrades will be required in the near future in order to maintain this facility for the next 20 years. Although the building is well maintained currently, much of the existing plumbing and HVAC piping and components are original to the building and nearing the end of their useful service life.

The scope of work for Option A-1 is limited to only those necessary upgrades which include the following:

- Full Accessibility Upgrade (Construction costs exceed 30% of building value-MAAB)
 - Install new elevator (Addition) and chair lift at Stage
 - Install ramps at all exterior landings
 - Install new pipe handrails with extensions at all ramps/ stairs
 - Reconfigure all Toilet Rooms (HC fixtures/ stalls/ grab bars)
 - Provide all new ADA compliant door hardware (lever handles)
 - Relocate walls to meet required door pull/push side clearances
 - Provide wing walls at all projections into accessible paths- i.e. drinking fountains
 - New ADA sinks and casework at existing sink locations
 - Install ADA compliant drinking fountains
 - Provide new HC Signage throughout
 - Reconfigure stair nosings (no abrupt nosings)
 - Site Components:
 - › Accessible paths to all site elements (even fields- if on the same site)
 - › Accessible path (not wood chips) to all playground structures
 - › Reconfiguration/grading/repaving of walkways to meet slope requirements
 - › Provide required HC Parking spaces (re-grading/paving/stripping)
- Building Code Upgrades:
 - Install new railings and guardrails
 - Structural analysis (required with roof replacement)
 - Install sprinkler system
 - Upgrade fire alarm system and devices
 - Install new compliant exit signage
 - Hazardous Materials Abatement
- MEP Upgrades:
 - Full HVAC Replacement (i.e. piping, boilers and unit ventilators)
 - Replace all original electrical feeders, panels and receptacles
 - Upgrade existing paging system for full coverage
 - Install lighting control system (with master remote program) and occupancy sensors
 - Install new wireless master clock system
 - Upgrade existing communications wiring to support current industry standards
 - Replace all existing original non-compliant plumbing fixtures
 - Test existing underground sanitary piping for leakage, backup and pipe aging conditions
 - Replace all existing hot/cold water plumbing piping and insulation
 - Install hot water recirculation system to all plumbing fixtures
- Security Upgrades:
 - Install card access system at exterior doors
 - Upgrade security cameras and building alarm systems
 - Install lockdown-type door hardware to interior classroom and office doors

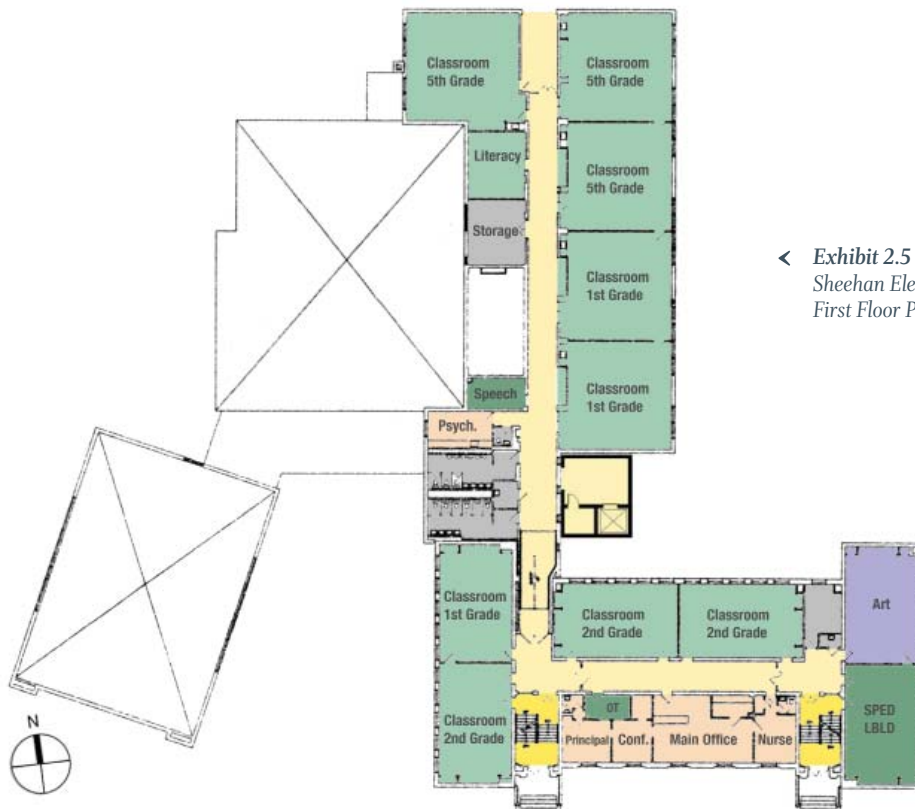
- Building Upgrades:
 - Replace all windows
 - Roof Replacement
- Site Upgrades:
 - Minor repaving of existing bituminous walkways
 - Repave and restripe parking lots
 - Re-pave/stripe basketball courts



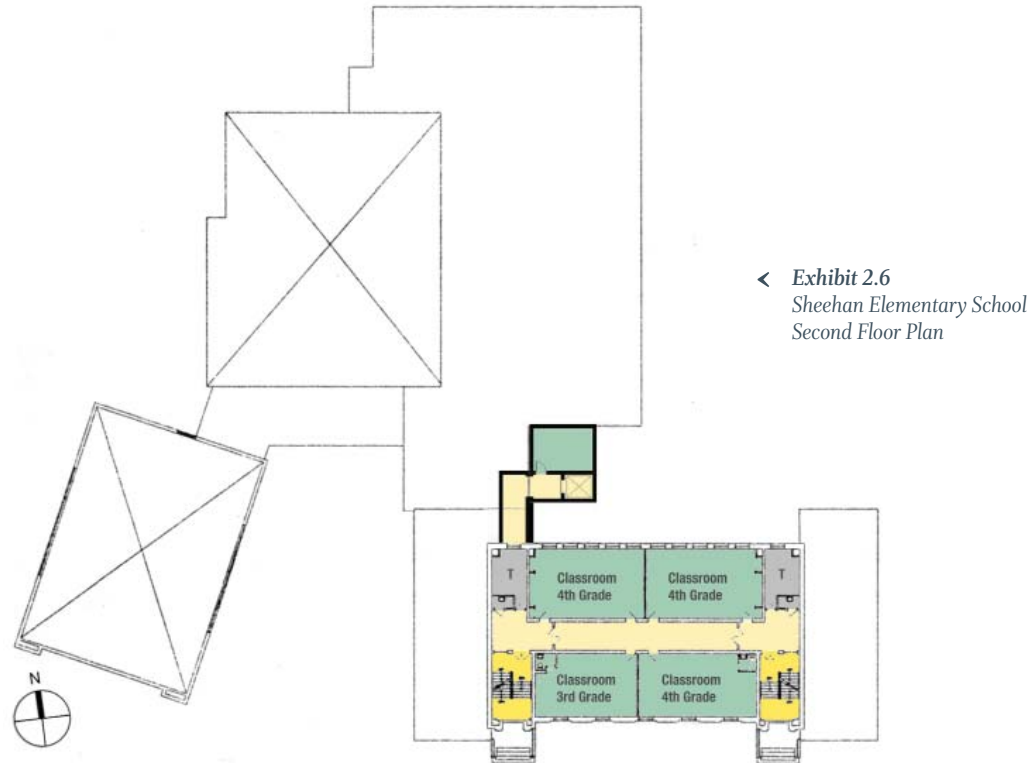
Exhibit 2.3
Sheehan Elementary School
Site Plan



< Exhibit 2.4
Sheehan Elementary School
Basement Floor Plan



< Exhibit 2.5
Sheehan Elementary School
First Floor Plan



Hanlon Elementary

At 34,280 square feet, Hanlon contains two sections of grades K-5. As noted in the Facilities Assessment and summarized in Section 1.6 of this Report, major systems and code upgrades will be required in the near future in order to maintain this facility for the next 20 years. Although the building is well maintained currently, much of the existing plumbing and HVAC piping and components are original to the building and nearing the end of their useful service life.

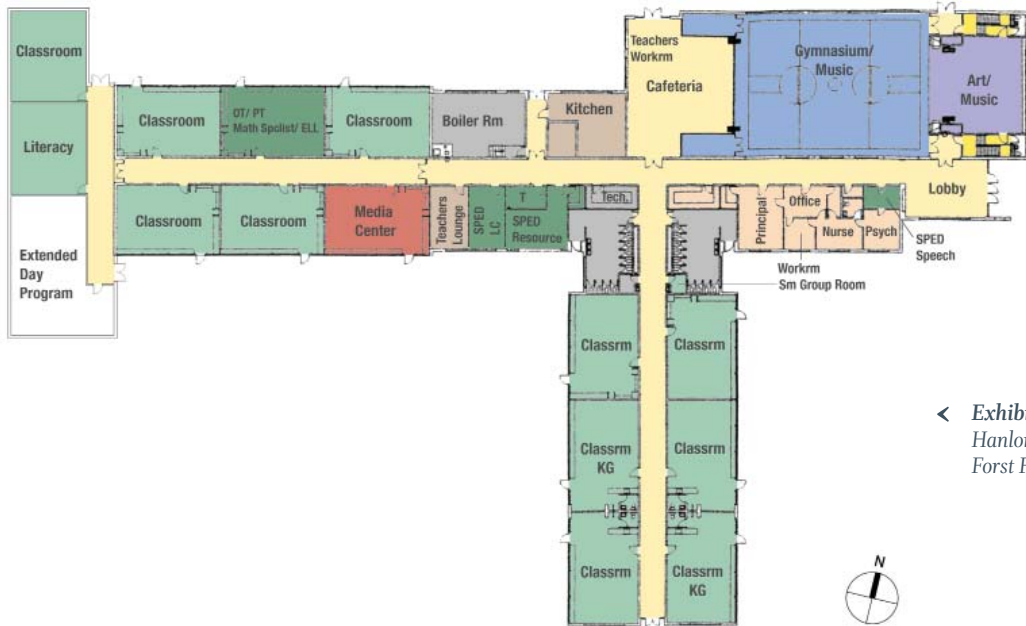
The scope of work for Option A-1 is limited to only those necessary upgrades which include the following:

- Full Accessibility Upgrade (Construction costs exceed 30% of building value-MAAB)
 - Install ramps at all exterior landings
 - Install new pipe handrails with extensions at all ramps/ stairs
 - Reconfigure all Toilet Rooms (HC fixtures/ stalls/ grab bars)
 - Provide all new ADA compliant door hardware (lever handles)
 - Relocate walls to meet required door pull/push side clearances
 - Provide wing walls at all projections into accessible paths- i.e. drinking fountains
 - New ADA sinks and casework at existing sink locations
 - Install non-slip surface required on wood steps (modulars)
 - Provide new HC Signage throughout
 - Reconfigure stair nosings (no abrupt nosings)
 - Site Components
 - › Accessible paths to all site elements (even fields- if on the same site)
 - › Accessible path (not wood chips) to all playground structures
 - › Minor reconfiguration of walkways to meet slope requirements and add detectable warning strips
 - › Provide compliant HC Parking spaces (regrading/paving/stripping at one space)

- Building Code Upgrades:
 - Install new railings and guardrails
 - Structural analysis (required with roof replacement)
 - Upgrade fire alarm system and devices
 - Install new compliant exit signage
 - Hazardous Materials Abatement
- MEP Upgrades:
 - Full HVAC Replacement (i.e. piping, boilers and unit ventilators)
 - › Consider converting existing HVAC system to RTUs (with AC)
 - › Provide option to convert UV system to include AC
 - Replace all original electrical feeders, panels and receptacles
 - Upgrade existing paging system for full coverage
 - Install lighting control system (with master remote program) and occupancy sensors
 - Install new wireless master clock system
 - Upgrade existing communications wiring to support current industry standards
 - Replace all existing original non-compliant plumbing fixtures
 - Test existing underground sanitary piping for leakage, backup and pipe aging conditions
 - Insulate all existing plumbing piping to remain
 - Install hot water recirculation system to all plumbing fixtures
- Security Upgrades:
 - Install card access system at exterior doors
 - Upgrade security cameras and building alarm systems
 - Install lockdown-type door hardware to interior classroom and office doors
- Building Upgrades:
 - Replace all original windows (except at modulars)
 - Roof Replacement (except at modulars)
- Site Upgrades:
 - Minor repaving of existing bituminous walkways (re-stripe parking lot)
 - Install new fire hydrant at the west side of the site to provide adequate fire protection coverage



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Exhibit 2.7
Hanlon Elementary School
Site Plan



< Exhibit 2.8
Hanlon Elementary School
First Floor Plan

Martha Jones Elementary

At 50,796 square feet, Martha Jones currently contains two sections of grades K-2 and 3 sections of grades 3-5. As noted in the Facilities Assessment and summarized in Section 1.6 of this Report, a major renovation and addition was completed in 2001. As part of this renovation, all major systems were upgraded and a sizeable xx square foot addition was constructed to handle the increasing enrollment that was being experienced at that time. Although the building and its systems are currently in good condition, there are some recommended upgrades that would address some deferred maintenance items as well as infrastructure upgrades that would bring this building up to the same level of renovations of Deerfield, Hanlon and Sheehan as proposed in Option A-1.

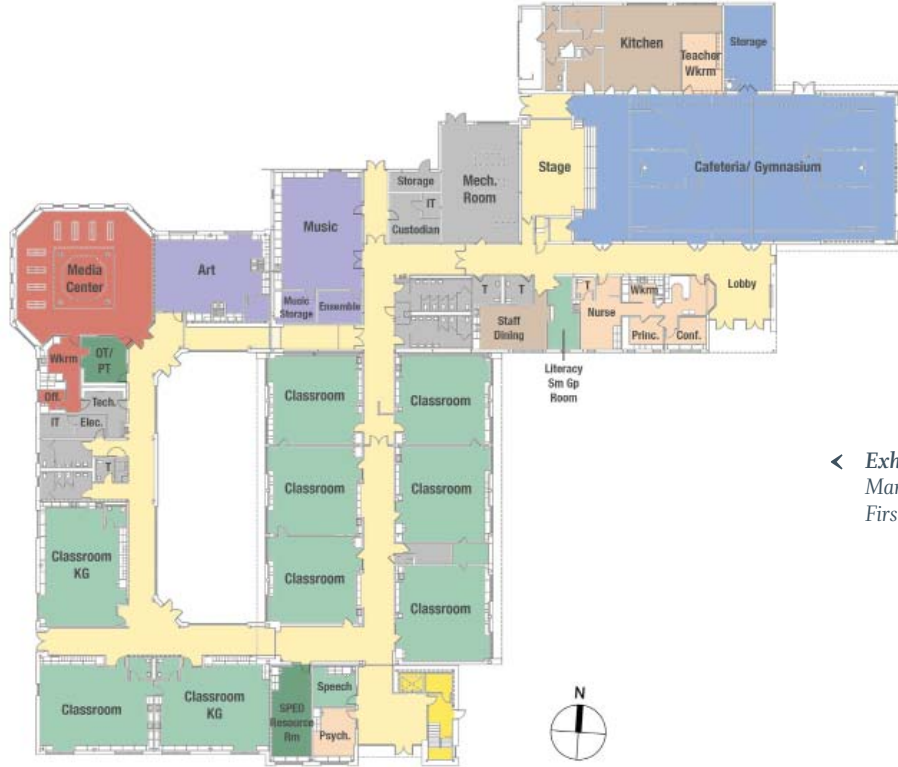
The scope of work for Option A-1 for Martha Jones is proposed as follows, but not necessarily limited to:

- MEP Upgrades:
 - HVAC Controls added or upgraded (with master remote access)
 - Upgrade lighting control systems for master remote access
 - Upgrade existing communications wiring to support current industry standards
 - Minimal electrical- old panel replacement (Kitchens)
 - Replace any original plumbing fixtures
- Security Upgrades:
 - Install card access system at exterior doors
 - Upgrade security cameras and building alarm systems

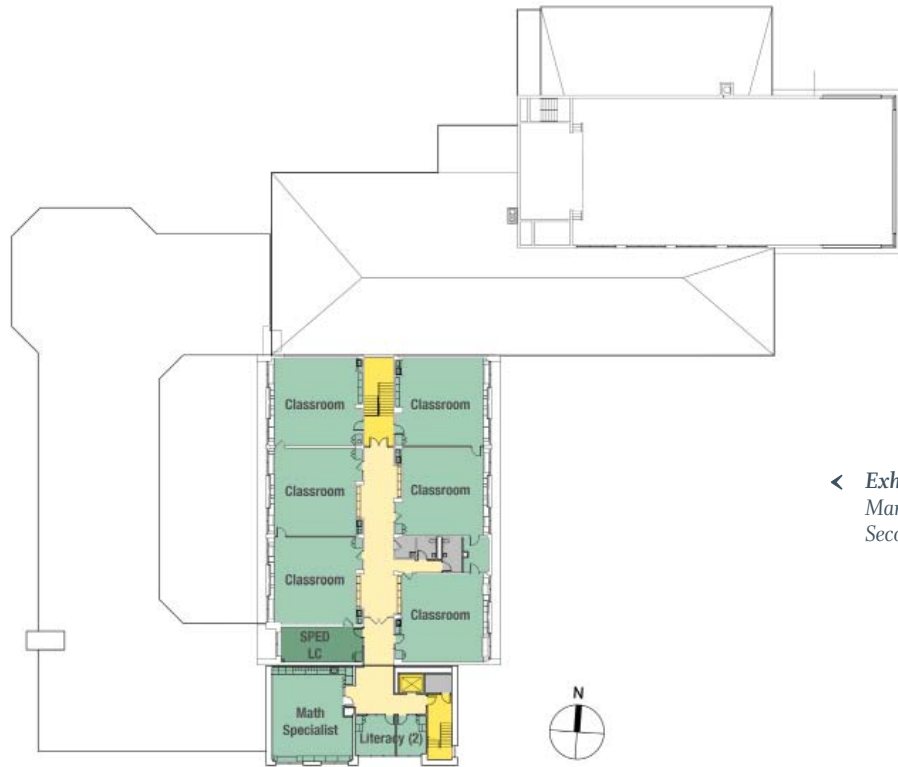


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Exhibit 2.9
Martha Jones Elementary School
Site Plan



< Exhibit 2.10
Martha Jones Elementary School
First Floor Plan



< Exhibit 2.11
Martha Jones Elementary School
Second Floor Plan

Downey Elementary

At 50,692 square feet, Downey currently houses two sections of grades K-4 and 3 sections of grade 5. As noted in the Facilities Assessment and summarized in Section 1.6 of this Report, a major renovation and addition was completed in 2001. As part of this renovation, all major systems were upgraded and a sizeable xx square foot addition was constructed to handle the increasing enrollment that was being experienced at that time. Although the building and its systems are currently in good condition, there are some recommended upgrades that would address some deferred maintenance items as well as infrastructure upgrades that would bring this building up to the same level of renovations of Deerfield, Hanlon and Sheehan as proposed in Option A-1.

The scope of work for Option A-1 for Downey is proposed as follows, but not necessarily limited to:

- MEP Upgrades:
 - HVAC Controls added or upgraded (with master remote access)
 - Upgrade lighting control systems for master remote access
 - Upgrade existing communications wiring to support current industry standards
 - Minimal electrical- old panel replacement (Kitchens)
 - Replace any original plumbing fixtures
- Security Upgrades:
 - Install card access system at exterior doors
 - Upgrade security cameras and building alarm systems



Exhibit 2.12 >
Downey Elementary School
Site Plan



< Exhibit 2.13
Downey Elementary School
First Floor Plan

2.3 Satisfy Educational Program Options Explored

Options B-1 and B-3 are illustrated on the Master Plan Options Matrix (Exhibit 1x and Appendix 6.5) under *Satisfy Educational Program*. These options do not necessarily assume that the grade configuration and district boundaries are to remain as they exist currently. These options include all of the code and system upgrade scope as identified in Option A-1; but in addition, these options include the necessary building modifications and additions required to meet the educational programming needs of the school district. Each school was also evaluated against the current guidelines set forth by the MSBA (Massachusetts School Building Authority).

Option B-1

Option B-1 does assume that the current grade configuration and district boundaries remain as is

Deerfield Elementary

Deerfield currently contains two full sections of grades K-5. In general, most of the classrooms meet or exceed the MSBA guidelines; however, two of the first grade classrooms are slightly smaller than these guidelines but within acceptable standards. Most of the core spaces are grossly undersized as compared to the MSBA guidelines for a building that supports a classroom capacity of 229 students. These spaces include: gymnasium, media center, health office (nurse), some special education classrooms, tutorial spaces, and others. The current art space is also approximately 50% undersized and is not handicapped accessible from the main corridor. Music does not have a dedicated space and music classes are either conducted in the gymnasium, cafeteria or in corridors.

At Deerfield, Option B-1 proposes a 6,200 square foot addition that will accommodate a new media center as well as dedicated art and music spaces. A new kitchen is proposed within the addition as a result of the new corridor access. Within the existing building, approximately 30% of the existing walls and spaces will be reconfigured to accommodate other program needs such as supplementary break out spaces, teacher and custodial support spaces, dedicated specialist and SPED spaces, and additional administration space.

Other building improvements, infrastructure and site updates are added in this option including: new classroom casework, new interior doors, electrical upgrades as required to support the new addition, updated finishes, improved site circulation and drop-off/pick-up loop, additional security and technology features to support modern educational demands.

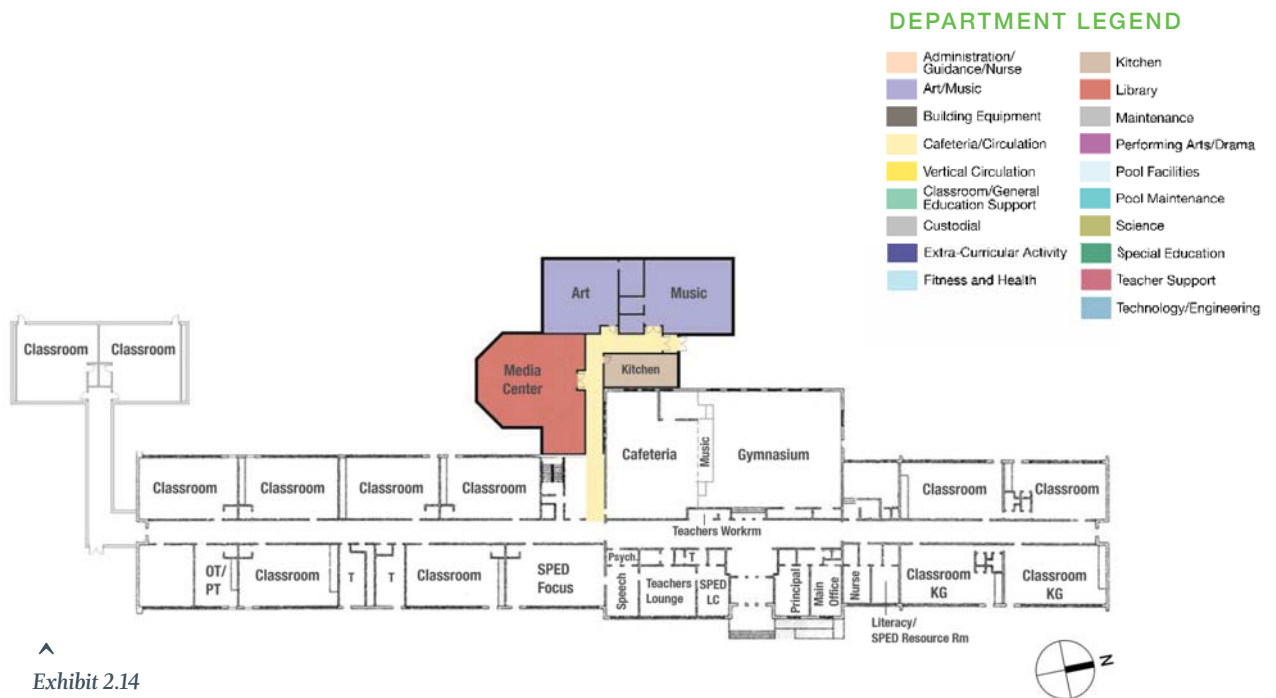


Exhibit 2.14
Deerfield Elementary School
First Floor Plan – Option B1

Sheehan Elementary

As the largest elementary school in the District, Sheehan currently has three full sections of grades K-5. In the original 1948 portion of the building, classrooms are approximately 25% smaller than the recommended square footage per MSBA guidelines which is very tight with the larger class sizes that they are currently experiencing. The classrooms in the 1968 addition are sized appropriately within acceptable standards. The gymnasium, art room and administration suite (including the nurse’s suite) are undersized as compared to the MSBA guidelines for a building that supports a classroom capacity of 318 students; however, they are functional. Music does not have a dedicated space and music classes are currently conducted on the stage in the cafeteria.

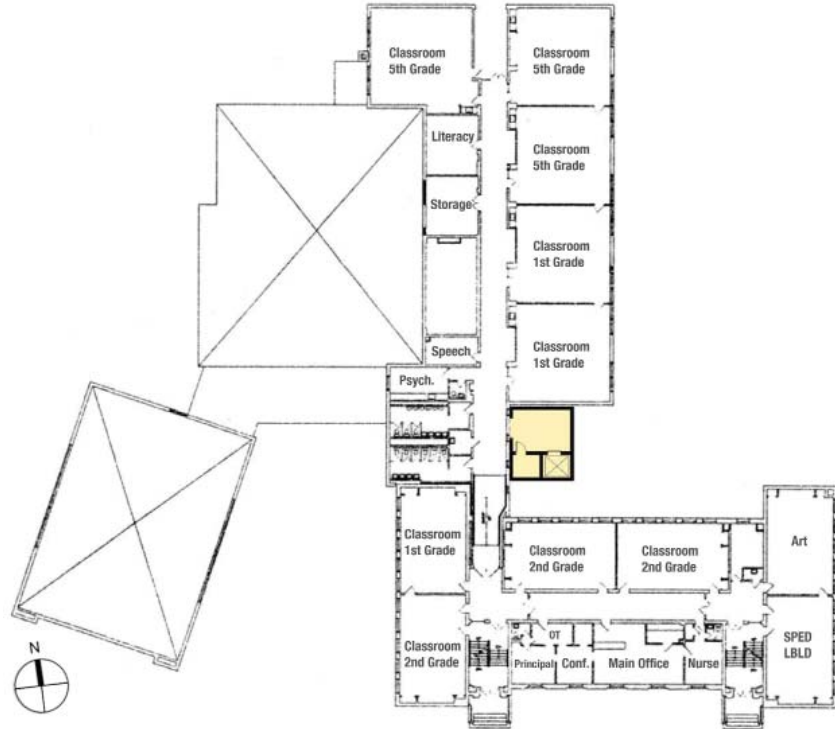
Perhaps the greatest educational programming need at Sheehan would be more break-out type spaces for intervention and specialist tutoring. Currently, closets and corridors are being utilized.

At Sheehan, Option B-1 proposes only a 1,561 square foot elevator and entry addition similar to Option A-1. Within the existing building, approximately 30% of the existing walls and spaces will be reconfigured to accommodate other program needs such as supplementary break out spaces, teacher and custodial support spaces, dedicated specialist and SPED spaces, and additional administration space.

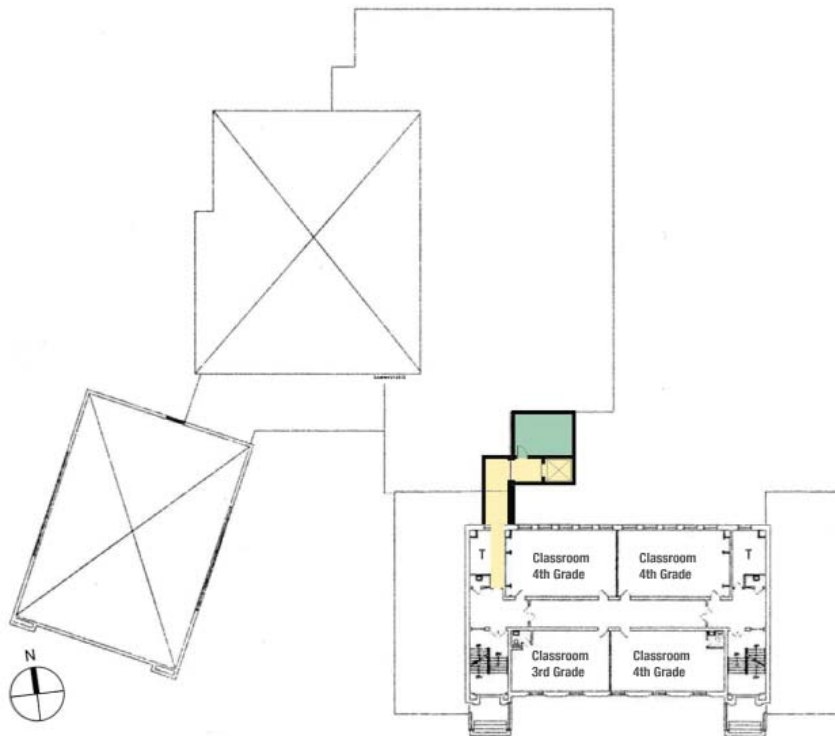
Other building improvements, infrastructure and site updates are added in this option including: new classroom casework, new interior doors, electrical upgrades as required to support the new addition, updated finishes, improved site circulation and drop-off/pick-up loop, additional security and technology features to support modern educational demands.



Exhibit 2.15
 Sheehan Elementary School
 Basement Floor Plan – Option B1



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Exhibit 2.16
Sheehan Elementary School
First Floor Plan – Option B1



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Exhibit 2.17
Sheehan Elementary School
Second Floor Plan – Option B1

Hanlon Elementary

Hanlon contains two sections of grades K-1 and 3-5 with one single section of grade 2. Most of the classrooms are slightly smaller than MSBA guidelines but within acceptable standards except for the two kindergarten classrooms which are approximately 25% undersized. The gymnasium, media center, administration and nurse’s suites are well undersized as compared to the MSBA guidelines for a building that supports a classroom capacity of 224 students. The current art space is located on the stage and is shared with music. This space is not handicapped accessible. When art and music classes conflict, music classes are conducted in the gymnasium.



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 Exhibit 2.18
 Hanlon Elementary School
 First Floor Plan – Option B1

Martha Jones Elementary

Martha Jones currently contains two sections of grades K-2 and 3 sections of grades 3-5. Major renovations were completed in 2002 which included the addition of three kindergarten classrooms, art classroom, music suite, media center, elevator and elevator lobby, administrative spaces and expansion of the existing cafetorium space to accommodate the increased capacity. Although enrollment had peaked during the 2009-2010 year at 359 students, current enrollment is down to 294 students and a projected enrollment of 249 students by the 2024-2025 school year. During the most recent peak, the art and music rooms had to be converted into general education classrooms to deal with this increased capacity thus leaving art/music “on a cart.” Currently, art and music have regained their dedicated classroom spaces and existing classroom and support spaces are adequate for the current and projected enrollment numbers. As a result, no major renovations are proposed as part of this series of options.

Downey Elementary

Downey currently houses two sections of grades K-4 and three sections of grade 5. Major renovations were completed in 2002 which included the addition of three kindergarten classrooms, art classroom, media center, and multiple special education offices and classroom space. Enrollment peaked during the 2009-2010 year at 279 students while current enrollment is down to 250 students. Enrollment is proposed to continue to steadily decrease to 215 students by the 2024-2025 school year. Current capacity is sufficient and as a result of the recent decrease in enrollment, classroom space has become available for the various SPED programs offered by the District. Downey accommodates the following SPED programs: STAR, WABA, and PEER.

Through the programming meetings with the principal and staff members, it was noted that the existing Reading Room (also referred to as the Solarium) is underutilized due to the lack of acoustical separation from the corridor. A need for additional small group instruction/break-out spaces was also identified. Option B-1 proposes to create three small break-out spaces within the under-utilized solarium space.



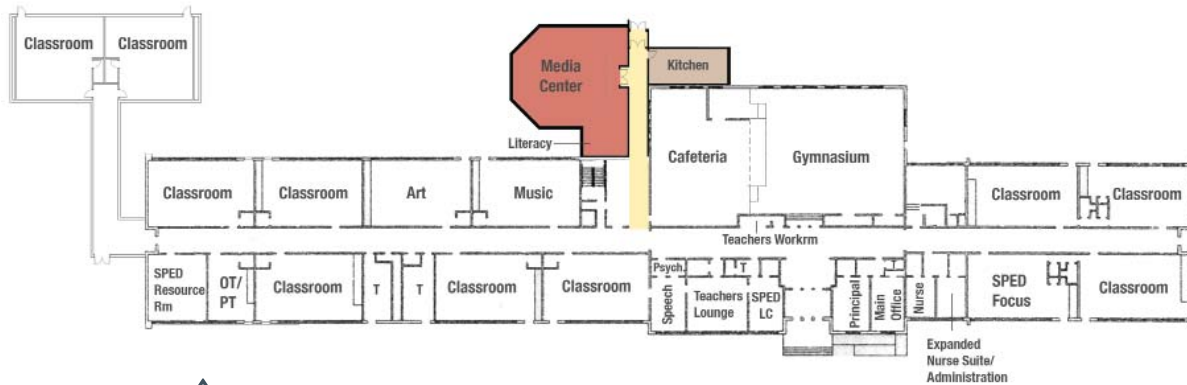
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 Exhibit 2.19
 Downey Elementary School
 First Floor Plan – Option B1

Option B-3

Option B-3 assumes redistricting of all elementary school districts to support a revised grade reconfiguration as follows: PreK and K at Hanlon, Grades 3-5 at Deerfield, Sheehan, Martha Jones and Downey. The middle and high school grade configurations will remain as grades 6-8 and 9-12, respectively.

Deerfield Elementary

By reducing the number of grades housed at Deerfield from two sections of K-5 to two sections of 1-5, two existing classroom spaces are available to be converted to dedicated art and music spaces. This reduces the size of the addition required as compared to Option B-1. Refer to Exhibit 2.20 for conceptual floor plan.



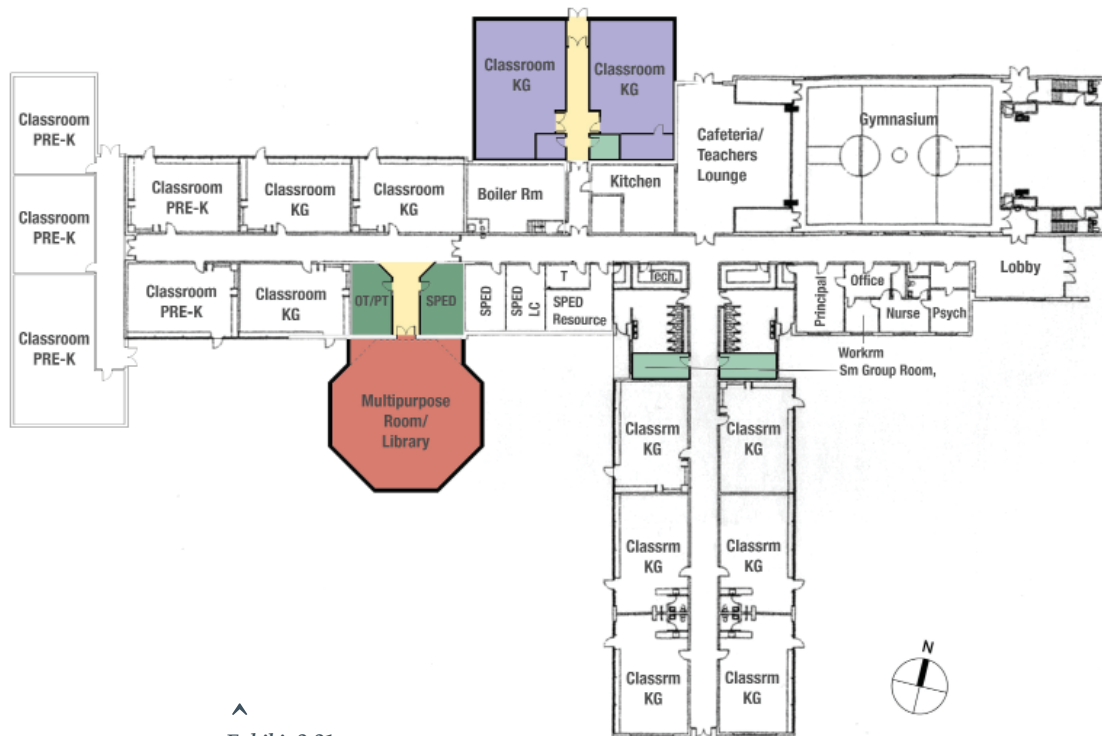
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 Exhibit 2.20
 Deerfield Elementary School
 Proposed First Floor Plan – Option B3
 Grades 1-5 (2 Sections)

Hanlon Elementary

The advantage of redistricting is that the class sizes can be equalized. Currently, kindergarten class sizes vary greatly from one district to the next. Based on the proposed design enrollment, 11 sections of kindergarten at a PreK-K Hanlon would produce class sizes of approximately 17 students.

The PreK program for Westwood is located at the High School. Relocating this program to Hanlon would have the added benefit of freeing up classroom space at the High School which is experiencing an enrollment bubble, projecting to peak by FY2018-2019. Enrollment should slowly decline after 2019, however, it will not reach current enrollment numbers until 2024. The preschool program currently has three classroom spaces attached to the High School; however, space for large group play is limited to the High School Gymnasium or the Gymnasium lobby area. In addition, intervention and special education program/office space is limited.

Option B-3 proposes 4 Pre-K classrooms as there has been interest for more paid tuition students in the past, but current space limits the number of paid tuition students they can take. About 50% of the preschool population is SPED students.



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 Exhibit 2.21
 Hanlon Elementary School
 First Floor Plan – Option B3

Sheehan Elementary

Option B-3 would free up 3 kindergarten classroom spaces in Sheehan, allowing for Music to have a dedicated classroom space. The two remaining classroom space would be utilized for the Extended Day program which will be relocated from Hanlon Elementary.

Martha Jones and Downey Elementary

Option B-3 would free up 2 kindergarten classroom spaces in both Martha Jones and Downey, allowing space for possible future special education or afterschool programs.

Below is a summary of existing classroom space available at each of the elementary schools and how that would be impacted by an exclusively PreK-K building at Hanlon:

Existing	Deerfield	Sheehan	Hanlon	Martha Jones	Downey
Current Gen. Ed. Classrooms	12	18	12	15	13
Current SPED/Specialty Classrooms*	1	2	2	3	5
Extended Day Program	-				
Available Classrooms	0	0	0	0	0

Option B-3	Deerfield	Sheehan	Hanlon	Martha Jones	Downey
Current Gen. Ed. Classrooms	9	15	16 (PreK-K)	13	11
SPED/Specialty Classrooms*	4	2	-	3	5
Extended Day Program	-	2	-		
Available Classrooms	0	0	0	2	2

*=SPED/Specialty spaces include SPED district-wide programs, general education intervention spaces such as Literacy and Math Intervention sharing or utilizing a full size classroom space, Art and Music.

2.4 Consolidation Options Explored

Options C-1a, C-1d and C-1e are illustrated on the Master Plan Options Matrix (Appendix 6.5) under Consolidate. These options do not necessarily assume that the grade configuration and district boundaries are to remain as they exist currently. These options include all of the code and system upgrade scope as identified in Option A-1; but in addition, these options include the necessary building modifications, additions and potential consolidation required to meet the educational programming needs of the school district and to optimize current building usage. Each school was also evaluated against the current guidelines set forth by the MSBA (Massachusetts School Building Authority).

Site Constraints and Opportunities

Deerfield Elementary

The school sits on a 10.55 acre parcel adjacent to additional municipally-owned land housing the newly constructed Westwood Library, former site of the Colburn School. The school site is relatively flat, however, reportedly experiences flooding on occasion. There are some localized wetlands along the northern boundary of the site. The building is accessible from Deerfield Avenue with a private driveway connection to High Street.

This site was explored for the potential new school site; however, due to site constraints such as localized wetlands, the density of the surrounding residential neighborhoods, and the current building placement on the site, the siting of a new building without impact to the existing school and neighbors would be challenging. Therefore, this option would most likely require complex construction phasing including temporary modular classrooms for all or parts of the construction sequence.

Sheehan Elementary

The school sits on a 4.3 acre parcel adjacent to a 6.25 acre municipally-owned recreational parcel to the east with multiple ballfields and a skating rink. The recreational parcel is bounded by Buckminster Pond to the east. There is a small floodplain associated with the pond that encroaches slightly onto the municipal parcel. The school entrance is located on Pond Street with an additional driveway for staff parking off of High Street.

Hanlon Elementary

The school is located on an 8.6 acre site adjacent to Town-owned forest called Lowell Woods that is used for recreational purposes (walking trails, etc) Much of the site is relatively flat and open in the area where the school and ballfields are sited. There are some minor rock outcroppings that were observed along the northwest portion of the site where the site borders the Town-owned forest. The site is accessible from Gay Street.

Martha Jones Elementary

This school sits on an 8.9 acre parcel adjacent to a large municipally-owned Town forest parcel with walking trails. Additions and renovations were completed in 2002. Site improvements included new play structures, ballfield upgrades and an enhanced bus drop-off and pick-up area. Expansion potential is limited due to a large wetland system that includes Martha Jones Pond along the northern, western, and southern property boundaries.

Downey Elementary

This school sits on a 9.8 acre site that slopes down from Downey Street to the east. The school and site are accessible only from Downey Street. Additions and renovations were completed in 2002. Site improvements included new play structures and ballfields. Expansion potential is limited due to a small localized wetland in the northern corner of the site, steep slopes along the eastern property lines, limited parking areas, and the location of the new ballfield.

Option C-1a

Option C-1a assumes the current grade configuration except that the PreK program would move to the new Sheehan School. Sheehan and Deerfield districts are consolidated while Hanlon, Martha Jones and Downey districts remain as is. As illustrated in Exhibit 2-20, Option C-1a proposed the construction of a new 540 student/ 4 section elementary school (grades K to 5) and the relocated PreK program onto the Town-owned land to the east of the existing Sheehan school site. The new school would be built on the current ballfields, allowing for simplified construction phasing. Once the new school is constructed, the original Sheehan school would be demolished so that new fields could be located on that portion of the site. Another option would be to turn over the existing school or portions of the site to the Town for another use; however, there would be limited space for the construction of new ballfields. The Deerfield school would be turned over to the Town, demolition or renovation costs to the Deerfield school are not included in the cost estimates for this option.

Modest renovations to Martha Jones and Downey would still be assumed, similar to the Options discussed in Section 2.3 of this report.

This Option does not mitigate the current issue of inconsistency in class sizes between schools/districts.



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Exhibit 2.22
 Sheehan Elementary School
 Site Plan – Option C1a

Option C-1d

Option C-1d assumes the current grade configuration except that the PreK program would move to the new Hanlon School. This option would consolidate the Deerfield, Sheehan and Hanlon districts while Martha Jones and Downey districts would remain as is. As illustrated in Exhibit 2-21, Option C-1d proposed the construction of a new 800 student/ 6 section elementary school (grades K to 5) and the relocated PreK program onto the Town-owned land to the west/northwest of the existing Hanlon school site. The first phase of construction would be clearing the existing wooded area to accommodate the new building which would be constructed while maintaining school functions in the existing building. Once the new building is constructed, the existing Hanlon school would be demolished to make way for new parking which would be sized to accommodate all the parking for the fields and the new school, thus allowing for the elimination of all the existing on street parking along Gay Street. The Deerfield and Sheehan schools would be turned over to the Town, demolition or renovation costs of these buildings are not included in the cost estimates for this option.

Modest renovations to Martha Jones and Downey would still be assumed, similar to the Options discussed in Section 2.3 of this report. This Option does not mitigate the current issue of inconsistency in class sizes between schools/districts.



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Exhibit 2.23
 Hanlon Elementary School
 Site Plan – Option C1d

Option C-1e

Option C-1e assumes the current grade configuration except that the PreK program would move to the new Hanlon School. As illustrated in Exhibits 2-22 through 2-24, Option C-1e proposed the construction of a new 540 student/4 section elementary school (grades K to 5) and the relocated PreK program onto the Town-owned land to the west/northwest of the existing Hanlon school site. The first phase of construction would be clearing the existing wooded area to accommodate the new building which would be constructed while maintaining school functions in the existing building. Once the new building is constructed, the existing Hanlon school would be demolished to make way for new parking which would be sized to accommodate all the parking for the fields and the new school, thus allowing for the elimination of all the existing on street parking along Gay Street. The Deerfield and Sheehan schools would be turned over to the Town, demolition or renovation costs of these buildings are not included in the cost estimates for this option.

To create more parity between the three remaining schools, Option C-1e proposes modest bricks and mortar additions to both Martha Jones and Downey to allow for a full 3 sections of grades K-5. With the recent renovations completed in 2002, the core spaces and infrastructure should be sized appropriately to accommodate these additional classroom spaces. Existing playground areas and structures would have to be relocated as they would be impacted by the proposed new additions.

This option, unlike Options C-1a and C-1d, would create consistency in class sizes by redistricting all existing elementary school districts. In addition, building usage and capacity could be maximized at Martha Jones and Downey. Other busing and operational costs were not studied and are not included in the proposed cost estimates.



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Exhibit 2.24
Hanlon Elementary School
Site Plan – Option C1e



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Exhibit 2.25
Martha Jones Elementary School
Site Plan – Option C1e



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Exhibit 2.26
Downey Elementary School
Site Plan – Option C1e

